



18681 Lake Drive East
Chanhassen, MN 55317
952-607-6512
www.rpcbwd.org

Riley Purgatory Bluff Creek Watershed District Permit Application Review

Permit No: 2023-056

Considered at Board of Managers Meeting: October 4, 2023

Application Received complete: September 19, 2023

Applicant: Pulte Homes; Dean Lotter

Consultant: Alliant Engineering Inc., Seth Loken

Project: Kinsley development– The applicant proposes the demolition of an existing single-family home and the construction of 42 townhomes and associated infrastructure.

Location: 17325 Pioneer Trail, Eden Prairie, MN

Reviewer: Scott Sobiech, PE, Barr Engineering

Proposed Board Action

Manager _____ moved and Manager _____ seconded adoption of the following resolutions based on the permit report that follows and the presentation of the matter at the October 4, 2023 meeting of the managers:

Resolved that the application for Permit 2023-056 is approved, subject to the conditions and stipulations set forth in the Recommendations section of the attached report;

Resolved that on determination by the RPBCWD administrator that the conditions of approval have been met, the RPBCWD president or administrator is authorized and directed to sign and deliver Permit 2023-055 to the applicant on behalf of RPBCWD.

Upon vote, the resolutions were adopted, _____ [VOTE TALLY].

Applicable Rule Conformance Summary

Rule	Issue	Conforms to RPBCWD Rules?		Comments
C	Erosion Control Plan	See Comment		See rule-specific permit condition C1 related to name of individual responsible for on-site erosion control.
J	Stormwater Management	Rate	Yes	
		Volume	See comment.	See rule-specific stipulation 6 related to in-situ infiltration testing.
		Water Quality	Yes	
		Low Floor Elev.	Yes	
		Maintenance	See comment.	See rule-specific permit condition J1 related to recordation of stormwater facility maintenance declaration.

Rule	Issue	Conforms to RPBCWD Rules?		Comments
		Chloride Management	Yes	
		Wetland Protection	NA	
L	Permit Fee Deposit	Yes		\$3,220 received August 24, 2023. As of September 26, 2023 the amount due is \$1,756.
M	Financial Assurances	See Comment		The financial assurance is calculated at \$129,723.

Project Description

The applicant proposes the subdivision of an existing single-family home parcel into a 42-lot townhome development with associated sewer and utilities. The project also includes the removal of an existing home and driveway. The applicant proposes an infiltration basin, two underground infiltration systems, and two infiltration trenches to provide volume control, water quality, and rate control.

There are three medium-value wetlands onsite that the city of Eden Prairie, the local governmental unit responsible for administering the Wetland Conservation Act, is allowing to be filled because the 234 square feet filled is less than the applicable de minimis exception (1,000 square feet). Because wetlands will no longer exist on the site post-development, Rule D imposes no wetland buffer requirements on the project. Because these three wetlands are on slopes, they do not exhibit natural banks required meet the water basin definition or an enclosed natural depression with definable banks required to be a waterbody and they do not provide flood storage, Rule B does not apply to wetlands.

The project site information is summarized below:

Project Site Information	Area (acres)
Total Site Area	6.14
Existing Site Impervious	0.55
Proposed Site Impervious Area	2.76
Change in Site Impervious Area	2.21 (>100% increase)
Disturbed Impervious Area	0.55 (100% disturbed)
Total Disturbed Area	5.07

Exhibits:

1. Permit Application received August 18, 2023 (The applicant was notified on September 8, 2023 that the submittal was incomplete; materials completing the application were received on September 18, 2023)
2. Stormwater Management Study dated June 29, 2023 (revised September 18, 2023)
3. Construction Plan Set dated June 29, 2023 (revised September 18, 2023)
4. Existing and proposed conditions HydroCAD model received August 18, 2023 (revised September 18, 2023)

5. Existing and proposed conditions MIDS model received September 18, 2023
6. Wetland Delineation report dated May 16, 2023 (including MnRAMs)
7. Minnesota Wetland Conservation Act Notice of Decision for the exemption dated July 17, 2023
8. Geotechnical Evaluation Report dated September 12, 2023
9. Cost Estimate received September 18, 2023

Rule Specific Permit Conditions

Rule C: Erosion and Sediment Control

Because the project will alter 5.07 acres of land-surface area, the project must conform to the requirements in the RPBCWD Erosion and Sediment Control rule (Rule C, Subsection 2.1).

The erosion control plan prepared by Campion Engineering Service Inc. includes installation of silt fence perimeter control, rock construction entrance, inlet protection, weekly inspection, placement of a minimum of 6 inches of topsoil with 5 percent organic content, decompaction of areas compacted during construction, and retention of native topsoil onsite. To conform to the RPBCWD Rule C requirements the following revisions are needed:

- C1. The Applicant must provide the name and contact information of the individual responsible for erosion control at the site. RPBCWD must be notified if the responsible individual changes during the permit term.

Rule J: Stormwater Management

Because the project will disturb 5.07 acres of land-surface area, the project must meet the criteria of RPBCWD's Stormwater Management rule (Rule J, Subsection 2.1). The criteria listed in Subsection 3.1 will apply to the entire project site and all impervious area because the project will disturb 100% of the existing impervious surface and will increase the imperviousness of the entire site by 100% percent (i.e., more than 50 percent; Rule J, Subsection 2.3). The applicant proposes an infiltration basin, two underground infiltration systems, and two infiltration trenches to provide volume control, water quality, and rate control.

Rate Control

In order to meet the rate control criteria listed in Subsection 3.1.a, the 2-, 10-, and 100-year post development peak runoff rates must be equal to or less than the existing discharge rates at all locations where stormwater leaves the site. The Applicant used a HydroCAD hydrologic model to simulate runoff rates for pre- and post-development conditions for the 2-, 10-, and 100-year frequency storm events using a nested rainfall distribution, and a 100-year frequency, 10-day snowmelt event. The existing and proposed 2-, 10-, and 100-year frequency discharges from the site are summarized in the table below.

Modeled Discharge Location	2-Year Discharge (cfs)		10-Year Discharge (cfs)		100-Year Discharge (cfs)		10-Day Snowmelt (cfs)	
	Ex	Prop	Ex	Prop	Ex	Prop	Ex	Prop
NE Corner	1.2	1.2	2.2	1.9	4.5	3.7	0.1	<0.1
Existing CB	6.0	4.6	12.1	7.0	28.0	9.1	0.7	0.4
SE Corner	3.0	2.5	6.4	4.3	13.7	8.3	0.4	0.2
Existing Pond	42.6	35.9	82.5	75.8	177.9	167.0	4.4	4.2

The proposed stormwater management plan will provide rate control in compliance with the RPBCWD requirements for the 2-, 10-, and 100-year events. Thus, the proposed project meets the rate control requirements in Rule J, Subsection 3.1a.

Volume Abstraction

Subsection 3.1.b of Rule J requires the abstraction onsite of 1.1 inches of runoff from all regulated impervious surface within the parcel. An abstraction volume of 11,020 cubic feet is required from the 2.76 acres (120,226 square feet) of regulated impervious area within the project site. Plans indicate pretreatment for runoff entering the infiltration facilities is provided by vegetated yards and sump manholes, thus the proposed project conforms with RPBCWD Rule J, Subsection 3.1b.1.

Eight soil borings in the Geotechnical Evaluation Report by Bruan Intertec dated September 12, 2023, indicate the site is predominately a lean clay over a poorly graded sands. Groundwater was not encountered at the bottom of the borings. The subsurface investigation information summarized in the table below shows that groundwater is at least 3 feet below the bottom of the proposed infiltration basin (Rule J, Subsection 3.1.b.2.a.). Because the geotechnical report does not contain soil borings or test pits at all the proposed stormwater facilities, additional subsurface investigation is needed to confirm adequate separation to groundwater.

Proposed BMP	Boring ID	Boring is within footprint?	Groundwater Elevation (feet)	BMP Bottom Elevation (feet)	Separation (feet)
Infiltration Basin	ST-5	Yes	No groundwater observed at bottom of boring (883.5)	895.0	11.5
SE Infiltration Trench	ST-101	Yes	No groundwater observed at bottom of boring (885.5)	899.5	14.0
Valley Road Underground Stormwater Facility	ST-102	No	No groundwater observed at bottom of boring (873.7)	885.7	12.0

Proposed BMP	Boring ID	Boring is within footprint?	Groundwater Elevation (feet)	BMP Bottom Elevation (feet)	Separation (feet)
East Infiltration Trench	ST-4	No	No groundwater observed at bottom of boring (881.8)	897.0	15.2
North Underground Stormwater Facility	ST-1	No	No groundwater observed at bottom of boring (877.9)	888.3	10.4

Based on the presence of poorly graded sand below a layer of clay, the applicant proposes to excavate the clay material and backfill with sand to yield a design infiltration rate of 0.2 in/hr – 0.8 in/hr beneath the five infiltration stormwater management facilities based on the Minnesota Pollution Control Agency's recommended design infiltration rates for the underlying soils. The engineer finds that under these presumed design infiltration rates, the infiltration stormwater management facilities will draw down within 48 hours (Rule J, subsection 3.1biii). The geotechnical report does not contain infiltration or hydraulic conductivity testing results at any of the infiltration stormwater management facilities as required by Rule J, subsection 3.1.b.ii.C. To confirm the design presumptions and ensure the applicant has incorporated abstraction in accordance with Rule J, subsection 3.1.b, supporting information in the form of infiltration or hydraulic conductivity testing at the proposed infiltration stormwater management facilities must be provided before the proposed BMPs are constructed. If infiltration capacity is less than needed to meet the volume abstraction requirement in subsection 3.1.b for the proposed infiltration stormwater management facilities or there is less than three feet of separation to groundwater, design modifications to achieve compliance with RPBCWD requirements will need to be submitted (in the form of an application for a permit modification or new permit).

The table below summarizes the volume abstraction for the site.

Required Abstraction Depth (inches)	Required Abstraction Volume (cubic feet)	Provided Abstraction Depth (inches)	Provided Abstraction Volume (cubic feet)
1.1	11,020	1.2	11,922

With the conditions noted above, the engineer concurs with the submitted information and finds that the proposed project will conform with Rule J, Subsection 3.1.b.

Water Quality Management

Subsection 3.1.c of Rule J requires the Applicant to provide volume abstraction in accordance with 3.1b or least 60 percent annual removal efficiency for total phosphorus (TP), and at least 90 percent annual removal efficiency for total suspended solids (TSS) from site runoff, and no net increase in TSS or TP loading leaving the site from existing conditions. The applicant has demonstrated and the engineer concurs that the volume abstraction is provided in accordance with 3.1b.

Low floor Elevation

All new buildings must be constructed such that the lowest floor is at least two feet above the 100-year high water elevation or one foot above the emergency overflow of a stormwater-management facility according to Rule J, Subsection 3.6a. In addition, a stormwater-management facility must be constructed at an elevation that ensures that no adjacent habitable building will be brought into noncompliance with this requirement according to Rule J, Subsection 3.6b.

The low floor elevation of the proposed structures and the 100-year high water elevation of the infiltration stormwater management facilities are summarized below. Because the low floor elevations of the proposed structures are more than two feet above the 100-year high water elevation of the adjacent stormwater facility in each case, the proposed project is in conformance with Rule J, Subsection 3.6.

Lot Riparian to Stormwater Facility	Low Floor Elevation of Building (feet)	100-year Event Flood Elevation Of Infiltration Stormwater Management Facilities (feet)	Freeboard provided (feet)
Lots 1-14	903.7	900.59	3.11
Lots 15-20	902.8	895.46	7.34
Lots 21-26	902.7	895.46	7.24
Lots 27-30	902.7	898.06	4.64
Lots 31-36	903.4	898.06	5.34
Lots 37-42	903.4	900.03	3.01

Maintenance

Subsection 3.7 of Rule J requires the submission of a maintenance plan. All stormwater management structures and facilities must be designed for maintenance access and properly maintained in perpetuity to assure that they continue to function as designed.

- J1. Permit applicant must provide a receipt of recordation of a maintenance and inspection declaration. A maintenance declaration template is available on the permits page of the RPBCWD website. (<http://www.rpbcwd.org/permits/>). A draft declaration must be provided for District review and approval prior to recording.

Chloride Management

Subsection 3.8 of Rule J requires the submission of chloride management plan that designates the individual authorized to implement the chloride management plan and the MPCA-certified salt applicator engaged in implementing the plan, except that the chloride-management plan for a residential subdivision need not encompass the single-family home properties within the subdivision. Because the streets within the proposed residential development will be dedicated to and maintained by the City of Eden Prairie and the city has provided its chloride management plan and its designated state-certified chloride applicator is Eden Prairie's Streets Division Manager Larry Doig, the proposed development conforms with Rule J, subsection 3.8.

Wetland Protection

Because runoff from the site discharges off-site to storm water ponds Rule J, subsection 3.10 imposes no requirements on the project.

Rule L: Permit Fee Deposit:

The RPBCWD permit fee schedule adopted in February 2020 requires permit applicants to deposit \$3,000 to be held in escrow and applied to cover the \$10 permit-processing fee and reimburse RPBCWD for permit review and inspection-related costs and when a permit application is approved, the deposit must be replenished to the applicable deposit amount by the applicant before the permit will be issued to cover actual costs incurred to monitor compliance with permit conditions and the RPBCWD Rules. A permit fee deposit of \$3,220 was received on August 24, 2022. . The applicant must replenish the permit fee deposit to the original amount due before the permit will be issued. Subsequently, if the costs of review, administration, inspections and closeout-related or other regulatory activities exceed the fee deposit amount, the applicant will be required to replenish the deposit to the original amount or such lesser amount as the RPBCWD administrator deems sufficient within 30 days of receiving notice that such deposit is due. The administrator will close out the relevant application or permit and revoke prior approvals, if any, if the permit-fee deposit is not timely replenished.

- L1. The applicant must replenish the permit fee deposit to the original amount due before the permit will be issued. As of September 26, 2023 the amount due is \$1,756.

Rule M: Financial Assurance:

	Unit	Unit Cost	# of Units	Total
Rule C: Erosion Control				
Silt Fence	LF	\$2.50	3,656	\$9,140
Inlet Protection	EA	\$100	24	\$2,400
Rock Entrance	EA	\$250	1	\$250
Restoration of disturbance	Ac	\$2,500	5.07	\$12,675
Rule J: Stormwater Management Infiltration basin: 125% of engineer's opinion of cost (\$74,772)	EA	125% OPC	1	\$93,465
Contingency (10%)		10%		\$11,793
Total Financial Assurance				\$129,723

Applicable General Requirements:

1. The RPBCWD Administrator and Engineer shall be notified at least three days prior to commencement of work.
2. Construction must be consistent with the plans, specifications, and models that were submitted by the applicant that were the basis of permit approval. The date(s) of the approved plans, specifications, and modeling are listed on the permit. The grant of the permit does not in any way

relieve the permittee, its engineer, or other professional consultants of responsibility for the permitted work.

3. The grant of the permit does not relieve the permittee of any responsibility to obtain approval of any other regulatory body with authority.
4. The issuance of this permit does not convey any rights to either real or personal property, or any exclusive privileges, nor does it authorize any injury to private property or any invasion of personal rights, nor any infringement of federal, state, or local laws or regulations.
5. In all cases where the doing by the permittee of anything authorized by this permit involves the taking, using or damaging of any property, rights or interests of any other person or persons, or of any publicly owned lands or improvements or interests, the permittee, before proceeding therewith, must acquire all necessary property rights and interest.
6. RPBCWD's determination to issue this permit was made in reliance on the information provided by the applicant. Any substantive change in the work affecting the nature and extent of applicability of RPBCWD regulatory requirements or substantive changes in the methods or means of compliance with RPBCWD regulatory requirements must be the subject of an application for a permit modification to the RPBCWD.
7. If the conditions herein are met and the permit is issued by RPBCWD, the applicant, by accepting the permit, grants access to the site of the work at all reasonable times during and after construction to authorized representatives of the RPBCWD for inspection of the work.

Findings

1. The proposed project includes the information necessary, plan sheets and erosion control plan for review.
2. The proposed project will conform to Rule C and J if the Rule Specific Permit Conditions listed above are met.

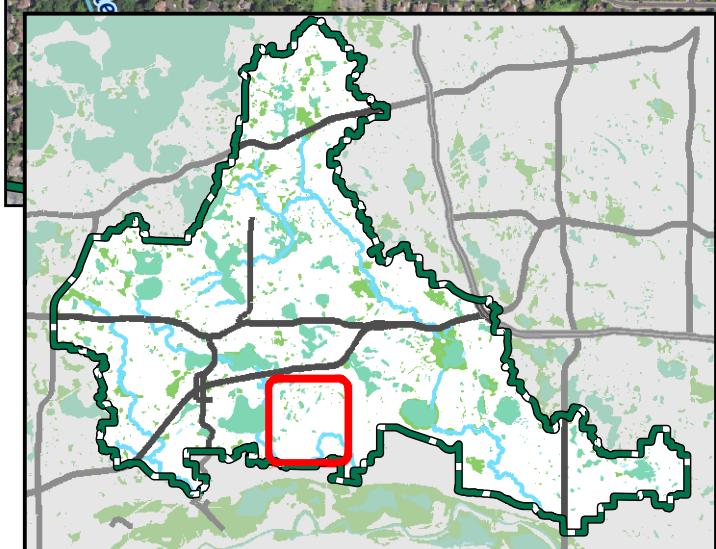
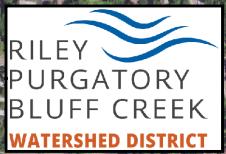
Recommendation:

Approval of the permit contingent upon:

1. Financial Assurance in the amount of \$129,723.
2. Applicant providing the name and contact information of the individual responsible for erosion and sediment control at the site during construction.
3. Receipt of recordation of a maintenance declaration for the operation and maintenance the stormwater management facilities. Drafts of all documents to be recorded must be reviewed and approved by the District prior to recordation and proof of recordation must be provided to RPBCWD.
4. The applicant must replenish the permit fee deposit to the original amount due before the permit will be issued. As of September 26, 2023 the amount due is \$1,756.

By accepting the permit, when issued, the applicant agrees to the following stipulations:

1. Continued compliance with General Requirements
2. Per Rule J Subsection 4.5, upon completion of the site work, the permittee must submit as-built drawings demonstrating that at the time of final stabilization, all the stormwater facilities conform to design specifications and function as intended and approved by the District. As-built/record drawings must be signed by a professional engineer licensed in Minnesota and include, but not limited to:
 - a. the surveyed bottom elevations, water levels, and general topography of all facilities;
 - b. the size, type, and surveyed invert elevations of all stormwater facility inlets and outlets;
 - c. the surveyed elevations of all emergency overflows including stormwater facility, street, and other;
3. Providing the following additional close-out materials:
 - a. Documentation that disturbed pervious areas remaining pervious have been decompacted per Rule C.2c criteria
4. The work on the Kinsley development under the terms of permit 2023-056, if issued, must have an impervious surface area and configuration materially consistent with the approved plans. Design that differs materially from the approved plans (e.g., in terms of total impervious area) will need to be the subject of a request for a permit modification or new permit, which will be subject to review for compliance with all applicable regulatory requirements.
5. The applicant must submit documentation verifying the infiltration capacity of the soils in the infiltration stormwater management facility and that the volume control capacity is calculated using the measured infiltration rate. If infiltration capacity is less than needed to conform with the volume abstraction requirement in subsection 3.1.b or there is less than 3 feet of separation to groundwater from the bottom of the facility or redoximorphic soils, design modifications to achieve compliance with RPBCWD requirements will need to be submitted (in the form of an application for a permit modification or new permit).
6. Replenish the permit fee deposit to the original amount or such lesser amount as the RPBCWD administrator determines sufficient within 45 days of receiving notice that such deposit is due in order to cover continued actual costs incurred to monitor compliance with permit conditions and the RPBCWD Rules.



Permit Location Map



Feet

0 1,000

KINSLEY
Permit 2023-056
Riley Purgatory Bluff Creek
Watershed District



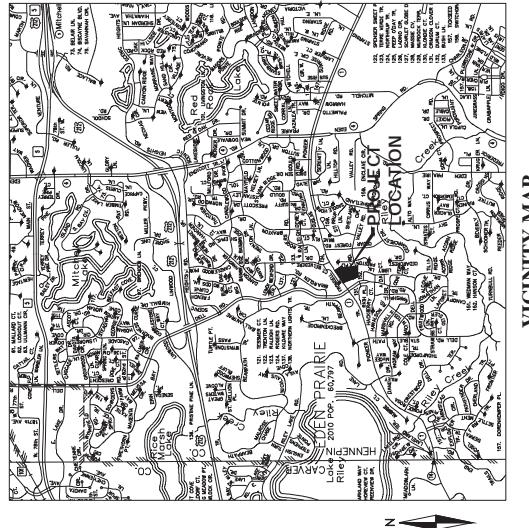
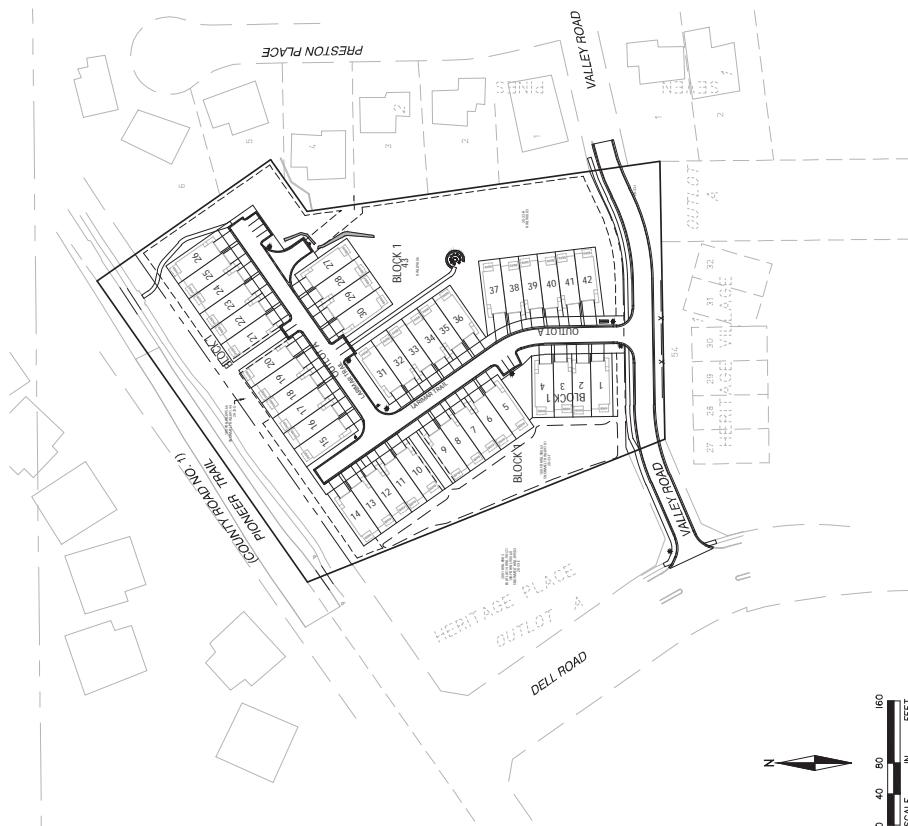
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KINSLEY

EDEN PRAIRIE, MINNESOTA



VICINITY MAP
NOT TO SCALE

SHEET INDEX

NO.	SHEET/TITLE	DATE	DESIGNER	DRAWING	MPN
1	COVER SHEET				
2-3	DETAIL SHEETS				
4	DEMOLITION PLAN				
5	EXISTING CONDITIONS SURVEY				
6	PRELIMINARY PLAT				
7	SITE PLAN				
8	GRADING AND DRAINAGE PLAN				
9	GRADING PROFILES				
10-11	POND DETAILS				
12	PEDESTRIAN RAMP DETAILS				
13	EROSION AND SEDIMENT CONTROL PLAN				
14	EROSION AND SEDIMENT CONTROL NOTES AND DETAILS				
15	SANITARY SEWER AND WATERMAIN PLAN				
16	STORM SEWER PLAN				
17	WETLAND MANAGEMENT PLAN				
18	TREE PRESERVATION PLAN				
19	EXISTING TREE INVENTORY				
20-21	LANDSCAPE AND TREE REPLACEMENT PLAN				
22	PHOTOMETRIC PLAN				

GENERAL NOTES:

1. I hereby certify that this plan, to the best of my knowledge and belief, is true and correct to the best of my knowledge and belief, and is prepared by me or under my direction and control. My professional engineer license number is 57366, issued by the State of Minnesota.
2. I have prepared this plan for the use of the City of Eden Prairie, Minnesota, and it is intended for use in connection with the construction of the project described above.
3. The most recent edition of the City of Eden Prairie Standards & Specifications.
4. All water distribution construction shall conform to the most recent edition of the City of Eden Prairie Standards & Specifications.
5. Paving shall not start until grade and roadway compaction tests have been taken and roadway conditions are approved by the engineer.

PROJECT TEAM DATA

DESIGNER:	SLA, LJA, ELL
DRAWING:	223-033
PROJECT NO:	223-033



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PRELIMINARY PLAT & PUD SUBMITTAL

DETAILS

EDEN PARKERIE, MINNESOTA

KINSLER

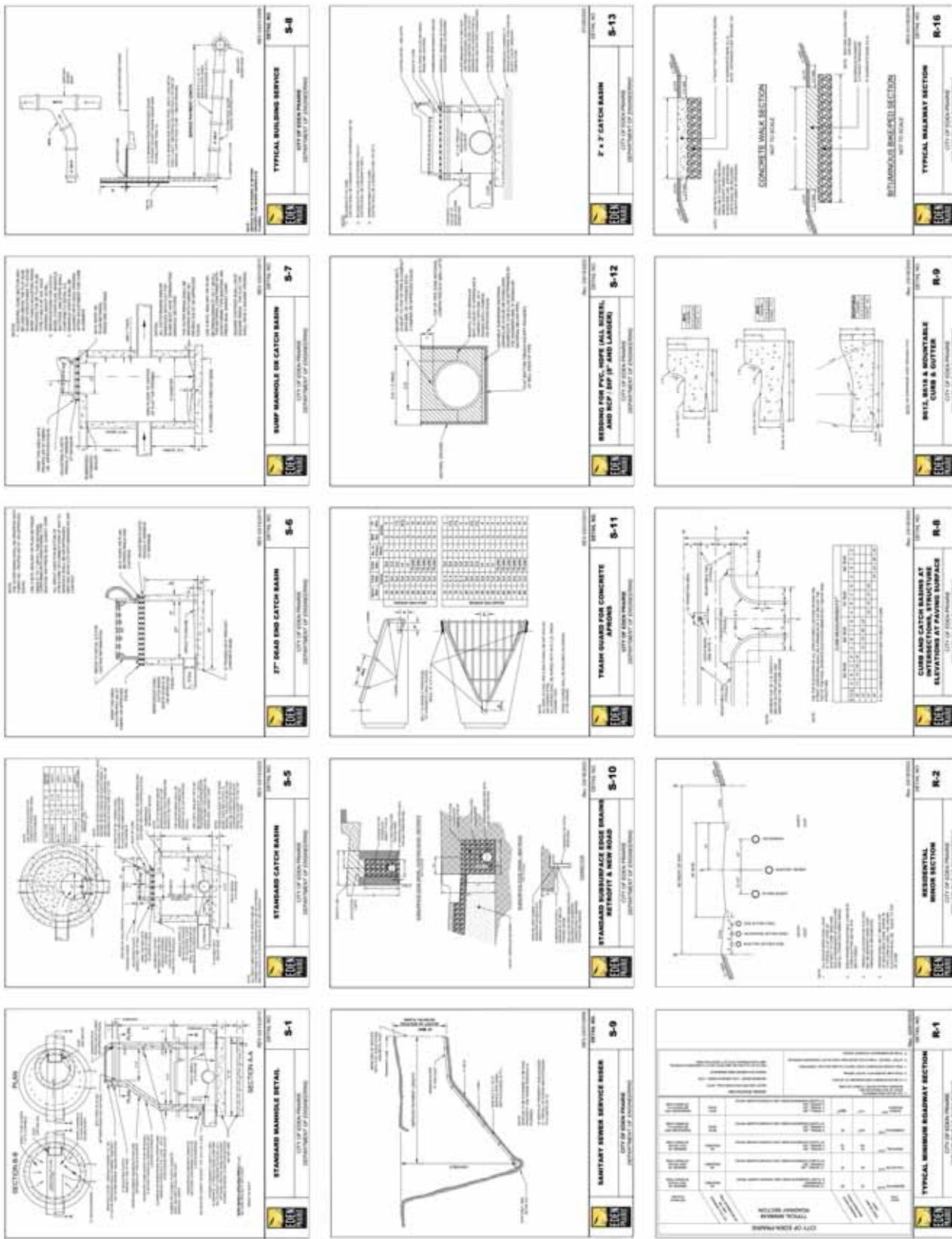
I hereby certify that this plan
has been prepared by me
or under my direction and
supervision, and that my
PROFESSIONAL ENGINEER under
the laws of the state of Minnesota
has reviewed it and found it
to be in accordance with
the applicable codes and
standards.

NAME: RAUCH, PE
DATE: 09/18/2023
LICENSE NO.: 100000000000000000

PROJECT TEAM DATA
DRAFTER: MPR
DRAWING: SL-1A, GL-
PROJECT NO.: 2023-225-033

2

2 of 22





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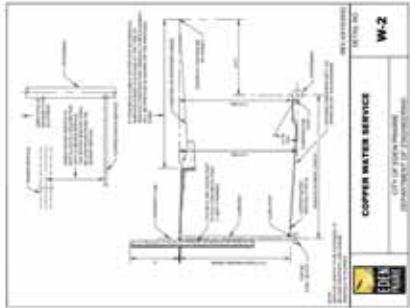
PRELIMINARY PLAT & PUD SUBMITTAL

DETAILS

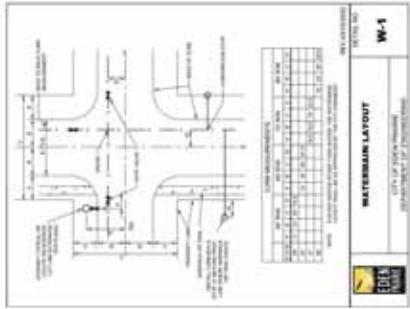
KINSLEY

EDEN PRAIRIE, MINNESOTA

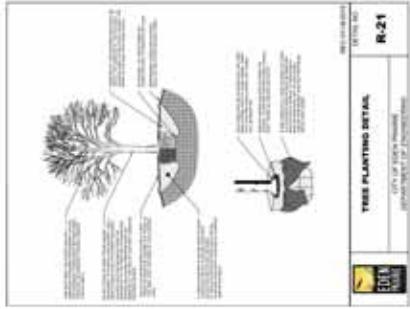
17325 PIONEER TRAIL



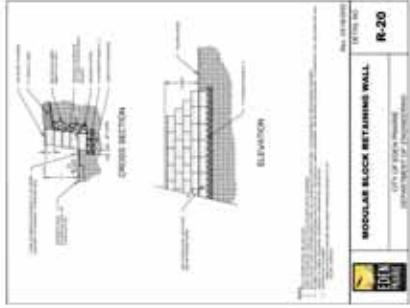
	COPPER WATER SERVICE
	City of Eden Prairie Division of Planning and Zoning



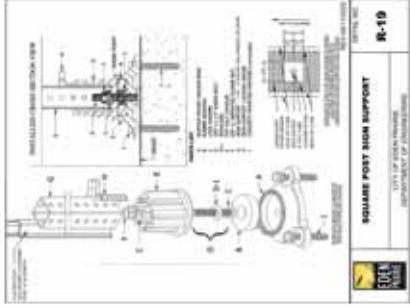
	WATERMAIN LAYOUT
	City of Eden Prairie Division of Planning and Zoning



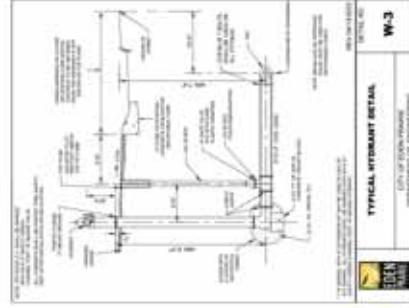
	TREE PLANTING DETAIL
	City of Eden Prairie Division of Planning and Zoning



	MODULAR BLOCK RETAINING WALL
	City of Eden Prairie Division of Planning and Zoning



	SQUARE POST SIGN SUPPORT
	City of Eden Prairie Division of Planning and Zoning



	W-3
	City of Eden Prairie Division of Planning and Zoning

License No.	MRP
BY	DAN
DATE ISSUED	

QUALITY ASSURANCE/CONTROL	
4-24-25 CITY SUMMITIAL	
4-25-25 LOT SIZE ADJUSTMENT	
4-25-25 HOMESCHOOLING STROKE	
6-26-25 CITY CHAMBERS	
7-21-25 CITY COMMISSIONS	
8-30-25 CITY COMMISSIONS	
9-18-25 PIPING RESIDENTIAL	

PROJECT TEAM DATA	
DESIGNER:	SLJ, ELL
DRAWING:	SLJ, ELL
PROJECT NO:	223-0033



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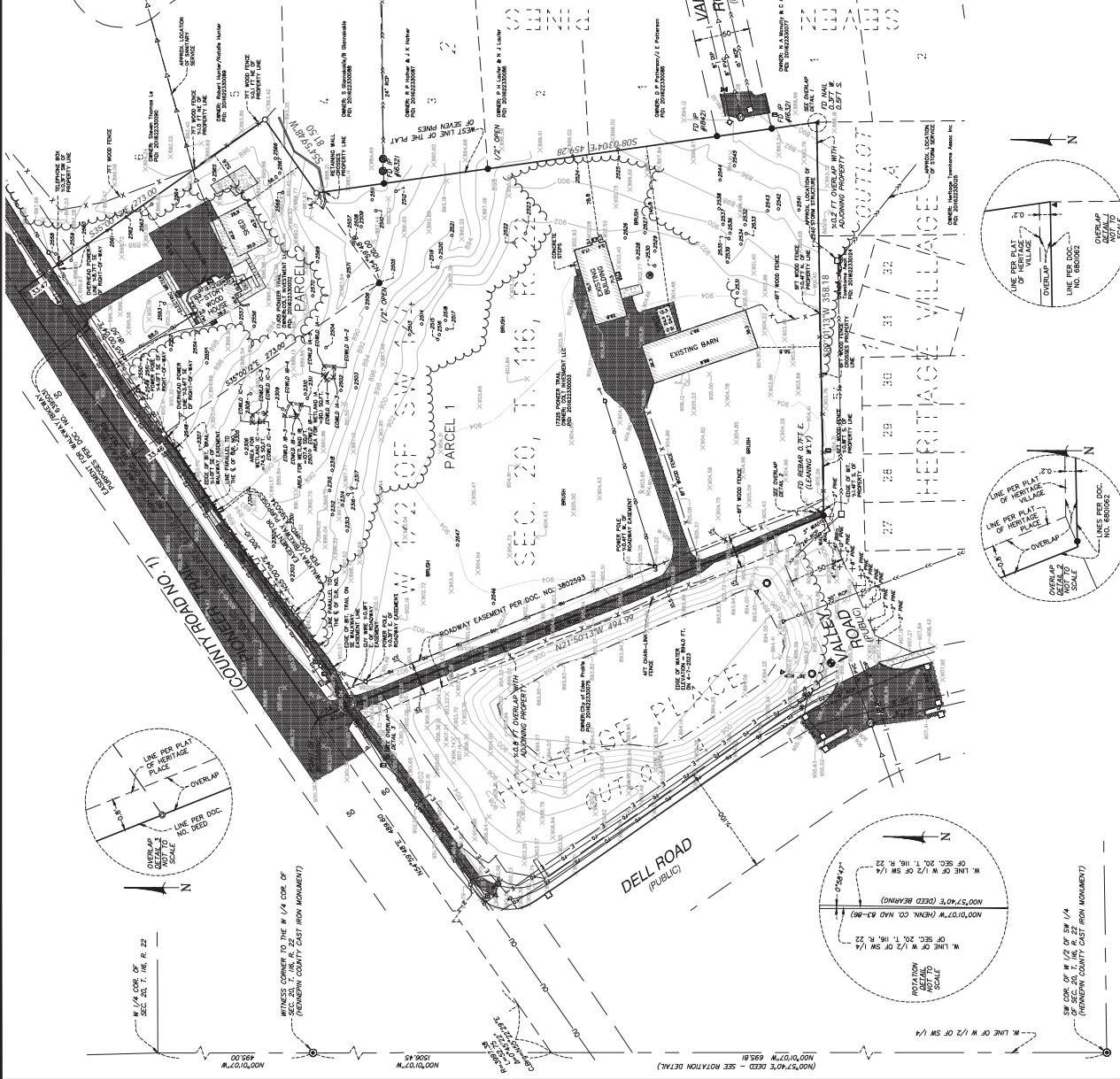


NOTES:

1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A PERMIT FROM THE LOCAL GOVERNMENT AUTHORITY FOR THE CONSTRUCTION OR FABRICATION. ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
2. CONTRACTOR SHALL NOTIFY THE STATE ONE CALL, 800-252-1166, 48 HOURS PRIOR TO EXCAVATION WORK. CONTRACTOR SHALL HAVE PRIVATE UTILITIES LOCATED.
3. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITY FEATURES, SUCH AS EXISTING GUTTER GRADES AT THE CONSTRUCTION SITE. CONTRACTOR SHALL NOT REMOVE ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
4. CONTRACTOR SHALL PROPERLY DISPOSE OF ALL MATERIAL REMOVED, CONTRACTOR TO SALVAGE ALL MATERIALS POSSIBLE AND OWNER ON FINAL USE.
5. PRIOR TO EARTH DISTURBANCE INSTALL EROSION AND SEDIMENT CONTROLS AS NECESSARY TO PREVENT SEDIMENT TRANSPORT OFFSITE DURING CONSTRUCTION WORK. INSTALL SILT FENCE AND INLET PROTECTION TO AVOID DISTURBANCE LIMITS.
6. PER CITY OF EPPEN PRAIRIE RECORDS, A SEPTIC TANK MAY BE PRESENT ON THE PROPERTY. SITE SURVEY DID NOT DISCOVER A SEPTIC TANK. IF A SEPTIC TANK IS DISCOVERED, IT IS TO BE REMOVED PER MPGA REQUIREMENTS/PERMIT.



TREE INVENTORY



LEGAL DESCRIPTION - PARCEL 1

LEGAL DESCRIPTION - PARCEL 2

NOTES

Landolt-Lindner, Berlin, Germany



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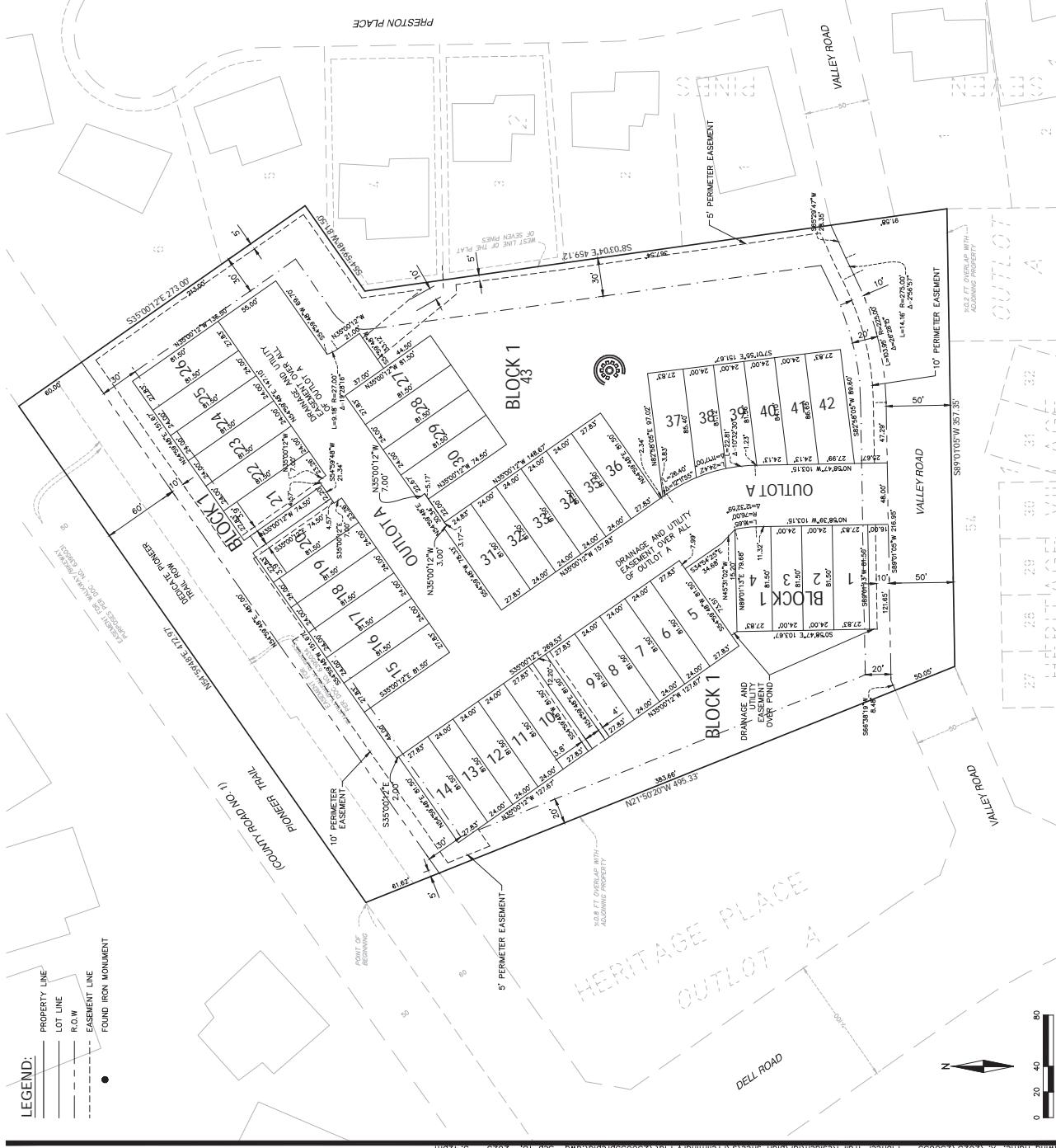


RELMINARY PLAT

LEY

PARCEL AREA TABLE			
PARCEL	AREA SF	AREA AC	
B1-L1	2.268	0.05	
B1-L2	1.956	0.04	
B1-L3	1.956	0.04	
B1-L4	2.268	0.05	
B1-L5	2.268	0.05	
B1-L6	1.956	0.04	

PRESTON PLACE



LEGEND:

PROPERTY LINE	
LOT LINE	
R.O.W.	
EASEMENT LINE	
FOUND IRON MONUMENT	

www.paperg.com X-2023-200033 - Paperless Trial Registration System eHealth/Patient Safety Software 2023 - 200033 - Sep 18 2023 - 5.4.2023



ALLIANT

Pulte
HOMES

733 Marquette Avenue
Suite 700
Minneapolis, MN 55402
612.583.3800
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PRELIMINARY PLAT & PUD SUBMITTAL

KINSLER

17325 PIONEER TRAIL

EDEN PRAIRIE, MINNESOTA

TOTAL DENSITY CALCULATIONS:

AREA AND DENSITY
EXISTING ZONING:
PROPOSED ZONING:
APPROVED ZONING:
GROSS AREA
FRONTAGE ROW (PIONEER TRAIL)
NET AREA (GROSS AREA - PIONEER TRAIL)
NET AREA (SEE INSET A)
NET AREA (SEE INSET B)

PROPOSED DENSITY:
RELIES IN PARTS ON RELENTARIO WITH CITY TO COIN BOUNDARY:
RELENTARIO BASED ON RELENTARIO IN 2023, NETLAND

RURAL
MEDIAN DENSITY RESIDENTIAL
C
RM-6.5
6.13 AC
0.06 AC / 234 SF (FULLY IMPACTED)
5.47 AC
42 UNITS
6.85 UNITS/ACRE.

LOT LINE SECTION
TOWNHOME (24'-WIDE)

42 UNITS
PRIMARY STRUCTURE SETBACKS
STRUCTURE LINE (EAST)
SITE PERIMETER (WEST)
VALLEY ROAD ROW
MINIMUM SEPARATION BETWEEN UNITS
MINIMUM ROW
MINIMUM ROW

BRICKED PARKING
GARAGE STALLS / UNIT
DRIVEWAY STALLS / UNIT
GUEST STALLS TOTAL
TOTAL PARKING PROVIDED
PRIVATE ROAD WIDTH
PRIVATE DRIVEWAY DEPTH
PUBLIC ROAD WIDTH

EXISTING LINE
BUILDING SETBACK
REQUIRED MINIMUM SETBACK
PROPERTY LINE
ROW LINE
LOT LINE
NET LAND DELINATION

LEGEND:

BRICKED PARKING
GARAGE STALLS / UNIT

DRIVEWAY STALLS / UNIT

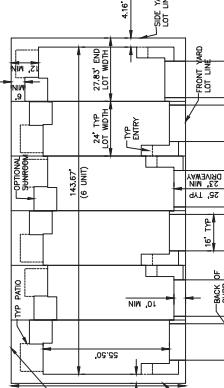
GUEST STALLS TOTAL

TOTAL PARKING PROVIDED

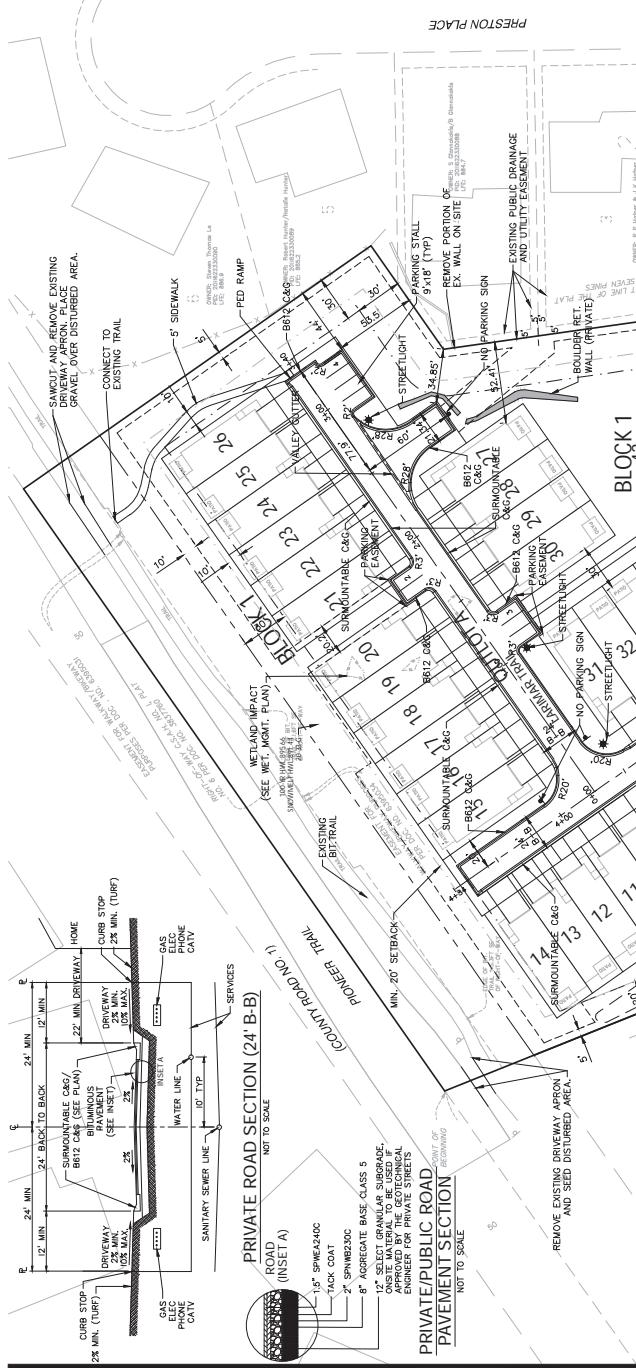
PRIVATE ROAD WIDTH

PRIVATE DRIVEWAY DEPTH

PUBLIC ROAD WIDTH



TYPICAL 24'-WIDE TOWNSHOME LOT DETAIL



NOT TO SCALE

ROAD (INSET A)

NO. 1 PIONEER TRAIL

NO. 2 PIONEER TRAIL

VALLEY ROAD

NOT TO SCALE

PRIVATE ROAD SECTION (24'-B-B)

NOT TO SCALE

PAVEMENT SECTION

NOT TO SCALE

CURB STOP (TURF)

DRENAGE

SUBGRADE

6" TACK COAT

8" AGGREGATE BASE, CLASS 5

12" SELECT GRANULAR SUBGRADE,

CRISTAL LAYER (NOT TO BE USED AS

ENGINEER FOR PRIVATE STREETS

NOT TO SCALE

BE DOWNGRADED

REMOVE EXISTING DRIVEWAY AND

SEED DISTURBED AREA

NOT TO SCALE

ROAD (INSET A)

NO. 1 PIONEER TRAIL

NO. 2 PIONEER TRAIL

VALLEY ROAD

NOT TO SCALE

PRIVATE/PUBLIC ROAD

NOT TO SCALE

CURB STOP

DRENAGE

SUBGRADE

8" TACK COAT

12" AGGREGATE BASE, CLASS 5

16" SELECT GRANULAR SUBGRADE,

CRISTAL LAYER (NOT TO BE USED AS

ENGINEER FOR PRIVATE STREETS

NOT TO SCALE

BE DOWNGRADED

REMOVE EXISTING DRIVEWAY AND

SEED DISTURBED AREA

NOT TO SCALE

ROAD (INSET A)

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VALLEY ROAD

NOT TO SCALE

PRIVATE/PUBLIC ROAD

NOT TO SCALE

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VALLEY ROAD

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PRIVATE/PUBLIC ROAD

NOT



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PRELIMINARY PLAT & PUD SUBMITTAL

17335 PIONEER TRAIL, EDEN PARK, MINNESOTA

KINSLY

GRADING PROFILES

I hereby certify that this plan, drawing, or other material is my original work, or is based upon work done by me under my supervision, and that I have not plagiarized or copied it from another person's work. I further swear that I am a licensed professional engineer in the state of Minnesota.

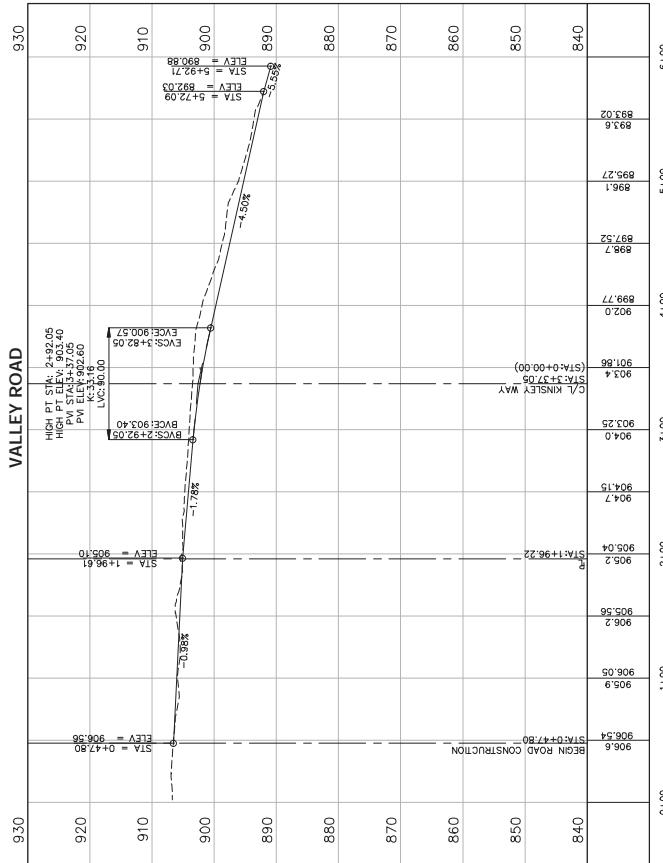
NAME: RUSSELL, RF
Date: 10/10/2013

PROJECT TEAM DATA	
Designer:	SA - LBL, Inc.
Drawing:	5A-231-0033
Project No.:	231-0033

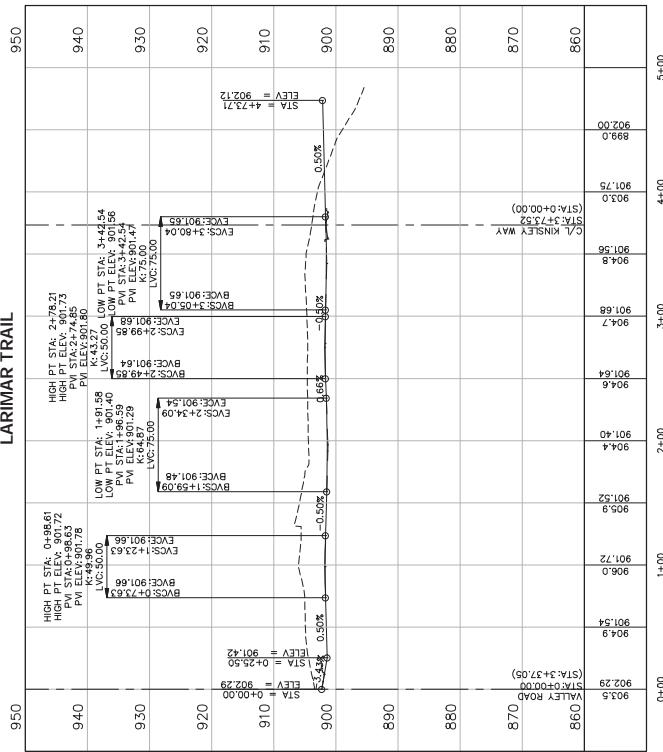
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Sheet 9 of 22

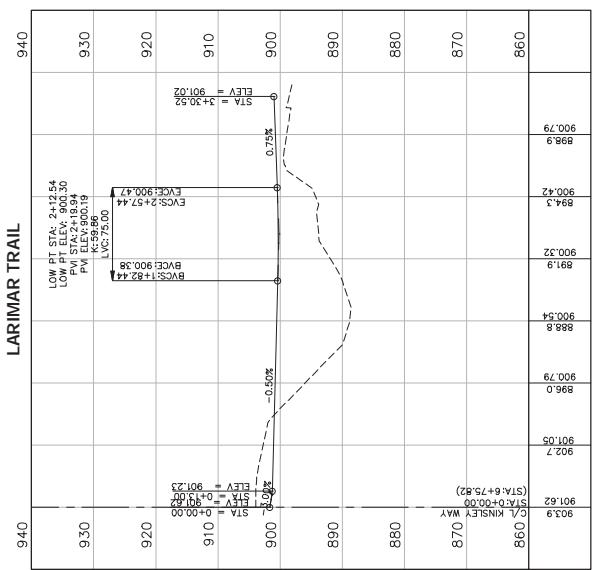
VALLEY ROAD



LARIMAR TRAIL



LARIMAR TRAIL



0 25 50 100
SCALE IN FEET



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HOMES

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KINSLY
17325 PRAIRIE, MINNESOTA
17325 PIONEER TRAIL

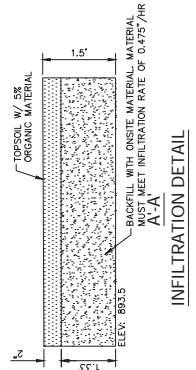
POND DETAILS

LEGEND:

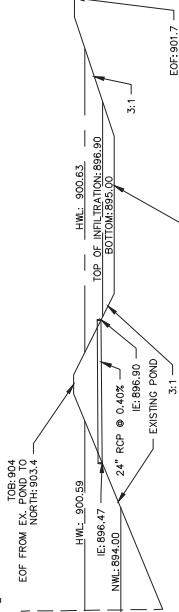
- Existing Contour
- Proposed Contour
- Proposed Retaining Wall
- Proposed TC, CL Elevation
- Δ Proposed Spot Elevation
- Direction of Drainage
- Emergency Overflow Routing
- Proposed Catch Basins
- Proposed Storm Sewer
- Top of Wall Elevation
- Bottom of Wall Elevation
- Property Line
- Lot Line
- Basement Line
- Tree Clearing Limits
- Existing Tree to Remain
- Crosses
- Maintenance Access

INFILTRATION BASIN NOTES:

1. IF INFILTRATION BASIN TO BE UTILIZED AS TEMPORARY SEDIMENT BASINS, 3' OF COVER OVER PROPOSED BOTTOM ELEVATION TO BE LEFT IN PLACE DURING CONSTRUCTION.
2. IF COMPACTION OCCURS AT THE BASE OF THE BASIN, THE SOIL SHALL BE REFRACUTED TO A DEPTH AT LEAST 3'. IF SHEARING OCCURS, THE REFRACTED LAYERS OF THE INTERFACE SHALL BE CORRECTED BY RAKING OR ROTOTILLING.
3. ON SITE MATERIAL TO BE UTILIZED FOR BACKFILL IN REASON OF UNSUITABLE ENGINEERED BACKFILL.
4. INFILTRATION RATE TO BE A MINIMUM OF 0.75 IN/H AND A MAXIMUM OF 1.5 IN/H. A TEST OF INFILTRATION RATE IS REQUIRED DURING CONSTRUCTION TO ENSURE INFILTRATION RATES ARE BEING MET.

INFILTRATION DETAIL
NOT TO SCALE

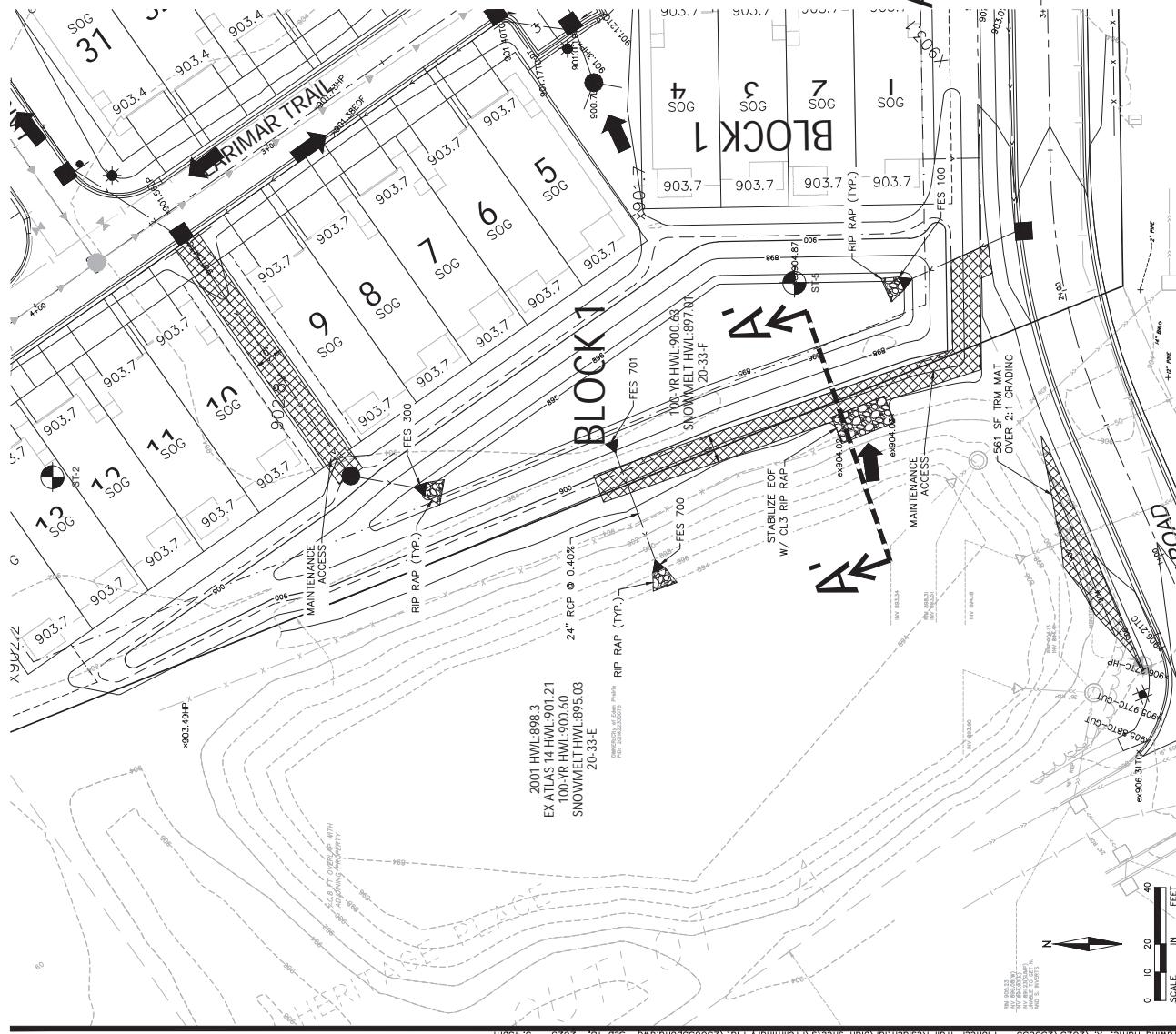
A'



CUT TO 893.3, BACKFILL WITH CLEAN SAND, AND REMOVE SC LAYERS. ON-SITE MATERIAL TO BE USED IF ON-SITE MATERIAL IS UNAVAILABLE (SEE INFILTRATION DETAIL)

10

SHEET 10 of 22





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UNITED STATES

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LEGEND:



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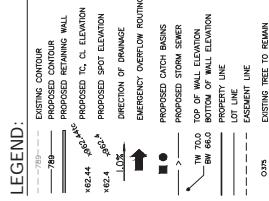
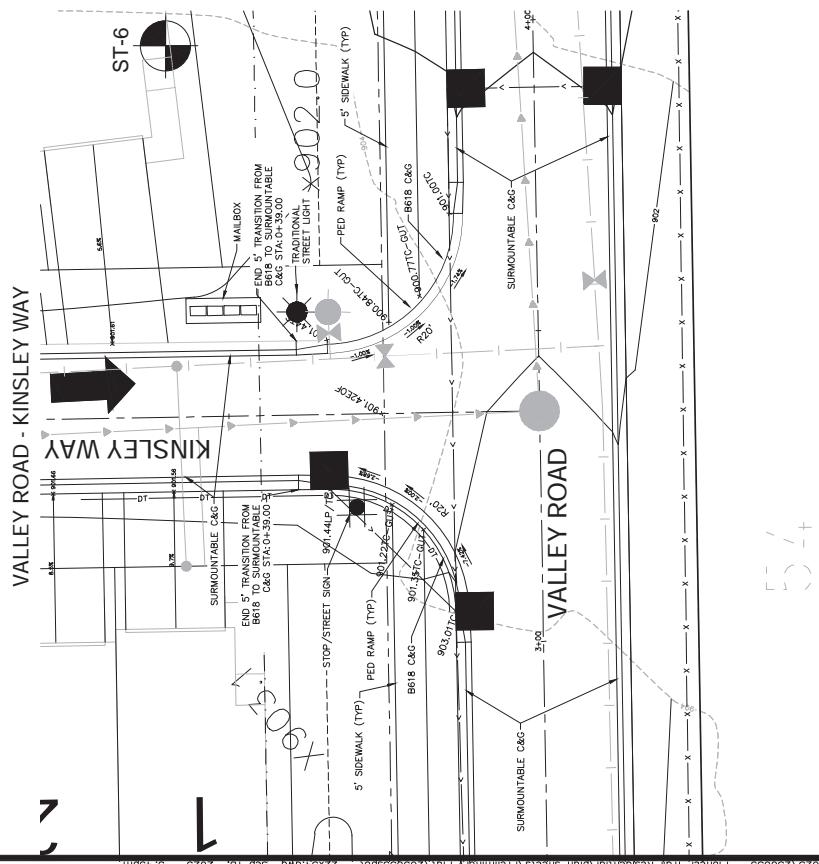
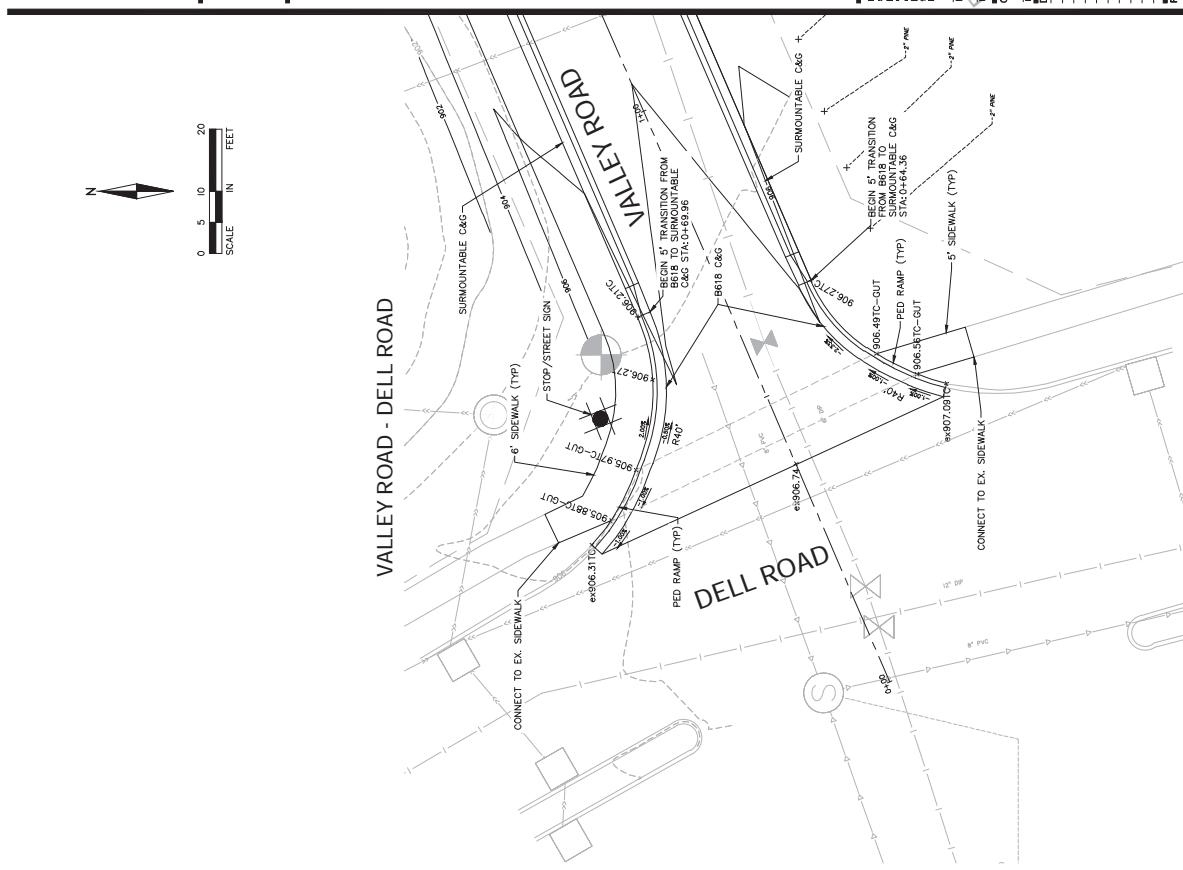
KINSLY

EDEN PARKERIE, MINNESOTA

17325 VALLEY ROAD

PDES/STRIAN RAMP DETAILS

PROJECT TEAM DATA	MAP
RENDERED:	MPR
DRAWING:	SLS 184, ELL
PROJECT NO:	222-0033



Existing Contour
789
892.44' 893.45'
892.4 893.4
0.15%
Proposed TC, CL. Elevation
Proposed Spot Elevation
Direction of Drainage
Emergency Overflow Routing
Proposed Catch Basins
Proposed Storm Sewer
TW 7.00' Bottom of Wall Elevation
Property Line
Lot Line
Easement Line
Existing Tree to Remain
0.15%



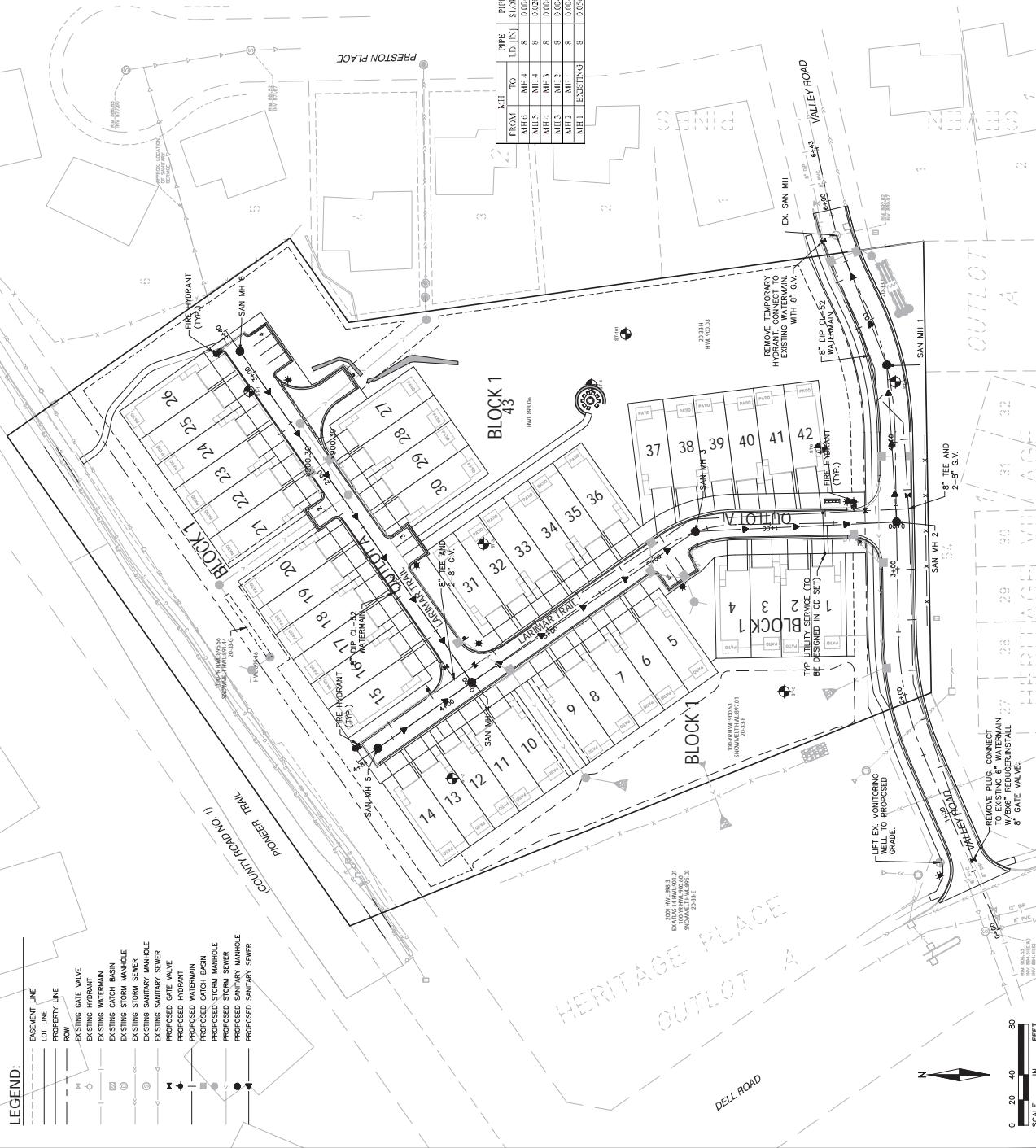
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UTILITY NOTES:

- EXISTING UTILITIES, SERVICE LOCATIONS, AND ELEVATIONS SHALL BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
- MANTAIN A MINIMUM 18" VERTICAL SEPARATION AT ALL PIPE CROSSINGS, WATER AND SANITARY SEWER LINES TO MAINTAIN TO HORIZONTAL SEPARATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS PRIOR TO THE START OF CONSTRUCTION.
- THE CONNECTION OF THE PUBLIC SEWER AT VALLEY ROAD REQUIRES COORDINATION WITH THE CITY. CITY ROW/UTILITY PERMIT WILL BE REQUIRED FOR CONNECTION TO PUBLIC UTILITIES.
- PROVIDE POLYSTYRENE INSULATION FOR ALL STORM SEWER AND WATERMAIN CROSSINGS WHERE VERTICAL OR HORIZONTAL SEPARATION IS LESS THAN 5'.
- ALL UTILITY WORK ALONG THE R.O.W. SHALL COMPLY WITH THE CITY OF EDEN PIONEER BOUNDARY GUIDELINES.
- PROVIDE TEMPORARY TRAFFIC CONTROLS IN COMPLIANCE WITH MINDOT "TEMPORARY CONSTRUCTION WITHIN THE PUBLIC ROW" MANUAL. LATEST VERSION.
- ALL SANITARY MANHOLES TO BE 48" DIAMETER CONCRETE (W/NENAH R-1733 CASSING). INVEST NOTES OTHERWISE.
- WATER, SEWER, SERVICES AND STORM SEWER SHALL BE INSULATED WITH A FILM OF 7.5' POLYETHYLENE TAPE SHALL BE USED TO SECURE THE FILM TO THE PIPE.
- WATER SERVICES SHALL BE 1" DIA. TYPE "K" COPPER 1" COPR. STOP AND 1" CURB BOX.
- SEWER SERVICES SHALL BE 7" PVC SDR 26 WITH A SLOPE OF 7' PER FOOT UNLESS NOTED OTHERWISE.
- ALL HYDRANTS MAY BE PLACED IN THE SAME TRENCH AS THE DRAINED TRACTOR TIRE. EXISTING SEVERES ARE MAINTAINED AND LAD ON A REACH OF DISTURBED EARTH.
- ALL CURB BOXES SHALL BE ADJUSTED TO AN ELEVATION OF 1" BELOW FINISHED GRADE.
- ALL WATERMAIN SHALL BE DIP C.52.
- INTERIOR OR EXTERIOR DROP MANHOLES ARE REQUIRED FOR DROPS LARGER THAN 2 FEET.
- ALL HYDRANTS SHALL BE NB-67 WITH "O" RING SEALS AND 6" G.V.
- ALL UTILITY WORK TO COMPLY WITH THE CITY OF EDEN PRAIRIE STANDARD DETAIL SPECIFICATIONS.



15 of 22

SANITARY SEWER SCHEDULE:

FROM	TO	PIPE	TYPE	INVERT	STRUCTURE	MANHOLE	PIPE TYPE
MH.9	MH.1	8	SDW.10	326.07	89.19	401.29	SUB-3.5 PVC
MH.5	MH.4	8	SDW.20	93.33	889.44	403.51	SUB-3.5 PVC
MH.1	MH.3	8	SDW.10	213.21	888.51	302.03	SUB-3.5 PVC
MH.3	MH.2	8	SDW.10	159.39	885.69	303.74	SUB-3.5 PVC
MH.2	MH.1	8	SDW.10	174.37	886.85	306.16	SUB-3.5 PVC
MH.1	ENDPOINT	8	SDW.2	106.10	886.26	309.07	SUB-3.5 PVC

DATE	License No.
BY	QUALITY ASSURANCE/CONTROL
DATE ISSUED	DATE
4-25-23 LOT SIZE ADJUSTMENT	
4-25-23 DRAINAGE SOURCE STORE	
4-25-23 CITY COMMENTS	
8-30-23 CITY COMMENTS	
9-18-23 PWD SUBMITTAL	

PROJECT TEAM DATA
DESIGNER: MPR
DRAWING: SL, LJA, ELL
PROJECT NO: 223-033



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UTILITY NOTES:

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- OWNER IS RESPONSIBLE FOR ALL PERMITS PRIOR TO THE START OF CONSTRUCTION.
- MANTAIN A MINIMUM 18" VERTICAL SEPARATION AT ALL PIPE CROSSINGS WITH WATERMAIN LOWER WATERMAIN AS NECESSARY.
- PROVIDE INDUSTRIAL INSULATION ON ALL STORM SEWER AND WATERMAIN CROSSINGS WHERE VERTICAL OR HORIZONTAL SEPARATION IS LESS THAN 3'.
- ALL UTILITY WORK AT THE ROAD SHALL COMPLY WITH THE CITY OF EDEN PRAIRIE ENGINEERING GUIDELINES.
- COORDINATION WITH HENNESSY COUNTY WILL BE NEEDED FOR STORM SEWER WITHIN PIONEER TRAIL ROW.
- PROVIDE TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS IN COMPLIANCE WITH MNDOT REVISION FOR ANY CONSTRUCTION WITHIN THE PUBLIC ROW.
- DRAINTAGE TO BE INSTALLED IN PRIVATE STREETS AT ALL LOW POINTS. 40' ON CENTER OF LOW DOME STORM STRUCTURE.

STORMSEWER SCHEDULE:									
FROM	TO	PIPE							
CBH 101	CBH 102	RCP							
CBH 102	CBH 103	RCP							
CBH 103	CBH 104	RCP							
CBH 104	CBH 105	RCP							
CBH 105	CBH 106	RCP							
CBH 106	CBH 107	RCP							
CBH 107	CBH 108	RCP							
CBH 108	CBH 109	RCP							
CBH 109	CBH 98	RCP							
CBH 98	CBH 99	RCP							
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CBH 95	CBH 94	RCP							
CBH 94	CBH 93	RCP							
CBH 93	CBH 92	RCP							
CBH 92	CBH 91	RCP							
CBH 91	CBH 90	RCP							
CBH 90	CBH 89	RCP							
CBH 89	CBH 88	RCP							
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CBH 42	CBH 41	RCP							
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CBH 40	CBH 39	RCP							
CBH 39	CBH 38	RCP							
CBH 38	CBH 37	RCP							
CBH 37	CBH 36	RCP							
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CBH 16	CBH 15	RCP							
CBH 15	CBH 14	RCP							
CBH 14	CBH 13	RCP							
CBH 13	CBH 12	RCP							
CBH 12	CBH 11	RCP							
CBH 11	CBH 10	RCP							
CBH 10	CBH 9	RCP							
CBH 9	CBH 8	RCP							
CBH 8	CBH 7	RCP							
CBH 7	CBH 6	RCP							
CBH 6	CBH 5	RCP							
CBH 5	CBH 4	RCP							
CBH 4	CBH 3	RCP							
CBH 3	CBH 2	RCP							
CBH 2	CBH 1	RCP							
CBH 1	CBH 0	RCP							

LEGEND:

- - - EASMENT LINE
- PROPERTY LINE
- ROWING GATE VALVE
- EXISTING WATERMAIN
- PROPOSED WATERMAIN
- PROPOSED SANITARY MANHOLE
- PROPOSED STORM SEWER

DRAWING DATA:

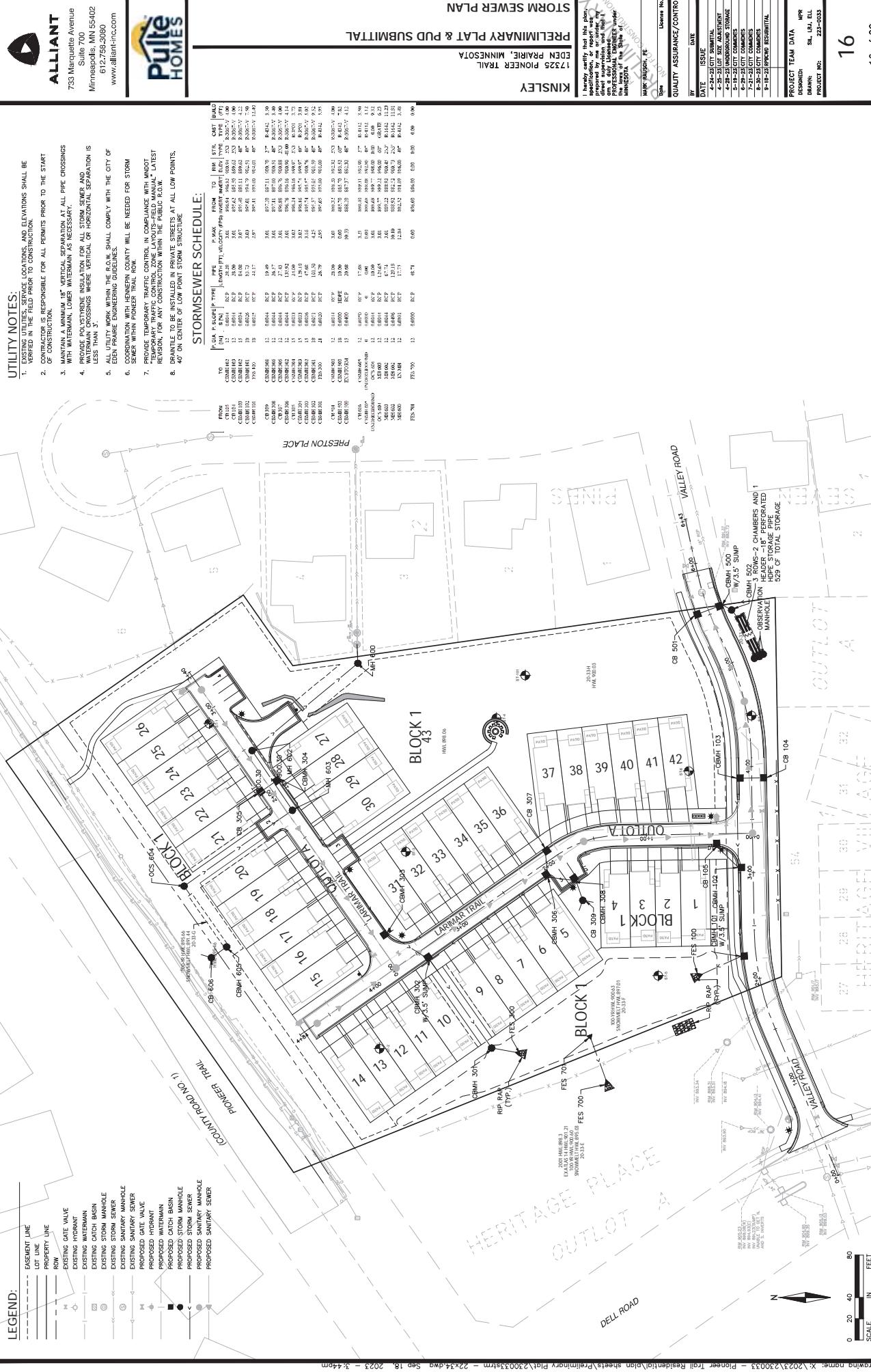
- DESIGNER: TIGER
- REDESIGNER: TIGER
- DATE: 09/20/2013
- SPREADSHEET: Preliminary Plan sheets\Plots\200335srtm - 22x34.dwg
- VERSION: 09/20/2013
- SCALE: 1:400

PROJECT TEAM DATA:

- LEADER: SL, LJA, MP
- DRAWING: SL, LJA, MP
- PROJECT NO.: 223-2033

SHEET:

- 16
- 16 of 22





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PRELIMINARY PLAT & PUD SUBMITTAL
WETLAND MANAGEMENT PLAN

KINSLER

WETLAND
MEDIUM (PER RPBCWD)
LOW (PER CITY OF EDEN PRAIRIE)

0.005 AC (234 SF)

0.005 AC (234 SF)

WETLAND SUMMARY:
WETLAND ID: WETLAND AREA*: WETLAND IMPACT:
WETLAND RATING:

FROM THE UPDATED WETLAND REVIEW WHICH
PART OF THE 2023 GROWING SEASON.

*WETLAND LIMITS DEPICTED ARE
WAS COMPLETED AT THE STAR

LEGEND:

ELEMENT LINE
BUILDING SETBACK
PROPERTY LINE
LOT LINE
ROW
WETLAND IMPACT AREA

NOTE: NO FURTHER TRANSFER OF AQUATIC INHABITANT SPECIES (E.G., ZEBRA MUSSELS, EURASIAN WATERMILFOIL, ETC.) MUST BE MINIMIZED TO THE MAXIMUM POSSIBLE.

NOTE: THE POTENTIAL TRANSFER OF AQUATIC INVASIVE SPECIES (E.G. ZEBRA MUSSELS, EURASIAN WATERMLFOIL, ETC.) MUST BE MINIMIZED TO THE MAXIMUM EXTENT POSSIBLE.

This site plan illustrates the layout of Preston Place, featuring several building blocks and surrounding infrastructure.

Building Footprints:

- BLOCK 1** (Lower Left): Contains units numbered 1 through 28.
- BLOCK 4₃** (Upper Left): Contains units numbered 29 through 42.
- BLOCK 1** (Center): Contains units numbered 37 through 42.
- BLOCK 1** (Lower Right): Contains units numbered 1 through 14.
- BLOCK 3** (Center Right): Contains units numbered 1 through 5.

Roads and Paths:

- VALLEY ROAD**: A major road running vertically along the right side of the site.
- OUTLOT A**: A curved path or driveway connecting buildings in the center and lower right areas.
- LARMAR TRAIL**: A path located between buildings in the center area.
- COUNTERTRAIL**: A path located between buildings in the lower left area.
- HERITAGE TRAIL**: A path located between buildings in the lower left area.
- DELL ROAD**: A road located at the bottom right of the site.

Other Labels and Features:

- PRESTON PLACE**: The name of the development, located at the top center.
- NETLAND IMPACT**: A label near the top center, likely referring to a specific area or zoning.
- WATER SEPARATION**: A line indicating a water separation point.
- EX-2000 W/H 9883-3
EX-AD 1000 W/H 8970-17
SWM/W/H 8970-10
SWM/W/H 8970-03
SWM/W/H 8970-01**: Reference numbers for utility connections.
- 2033H HK 02/03**: Reference number for a specific location.
- 2033H HK 02/03**: Reference number for another specific location.
- N**: North arrow pointing upwards.
- SCALE 0 20 40 60 80 FEET**: Scale bar at the bottom right.



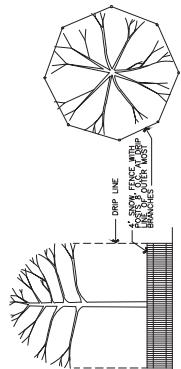
ALLIANT

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Minneapolis, MN 554
612.755.3080
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TREE PRESERVATION NOTES:

1. BEFORE ANY CONSTRUCTION OR GRAVING OF A DEVELOPMENT PROJECT IS TO OCCUR, A TREE PROTECTION FENCE IS TO BE PLACED IN NEARLY AND STRETCHED WITHIN 10 FEET OF THE FENCE LINE. THIS AREA AS A TREE PROTECTION AREA AND PROHIBITING GRAVING BEYOND THE FENCE LINE. THIS FENCE MUST REMAIN UNTIL ALL GRAVING AND CONSTRUCTION ACTIVITY IS TERMINATED.
2. NO EARTHMOVING, CONSTRUCTION MATERIALS OR SOIL MAY BE STORED WITHIN FENCED AREAS PROTECTING TREES.
3. NO DROUGHT, AND DETERIORATION, SHALL OCCUR IN SOIL CHEMISTRY DUE TO CONSTRUCTION, DRAINAGE, COMBUSTION, OR SPILLAGE OF TOXIC MATERIALS, SUCH AS FUELS OR PAINTS.
4. CONTRACTOR TO PREVENT THE CHANGE IN SOIL CHEMISTRY DUE TO CONSTRUCTION, DRAINAGE, COMBUSTION, SIGNIFICANT TREES SHALL BE STORED WITHIN FENCED AREAS PROTECTING TREES.
5. DRAINAGE PATTERNS ON THE SITE SHALL NOT CHANGE CONSIDERABLY, CONSEQUENTLY, DROPPING DUNES, CONSTRUCTION MATERIALS, OR SPILLAGE OF TOXIC MATERIALS, SUCH AS FUELS OR PAINTS.
6. NO SIGNIFICANT TREES SHALL BE REMOVED UNTIL THIS TREE PRESERVATION PLAN IS APPROVED BY THE CITY OF ELYN PARK.



SIGNIFICANT TREE PROTECTION FENCE TO BE POSITIONED AS SHOWN AND
SHALL BE STORED WITHIN THE FENCE LINE AS DESCRIBED ABOVE.

NOT TO SCALE

TREE PROTECTION FENCE

PLAN

ELEVATION

KINSLEY
PRELIMINARY PLAT & PUD SUBMITTAL
17325 PIONEER TRAIL
ECEN PRairie, MINNESOTA
100' PIONEER TRAIL & ADJACENT PROPERTY

HARRY KONNECKI, P.E., ASLA

LEADER

QUALITY ASSURANCE/COI

BY

DATE

ISSUE

4-25-23

LOT SIZE ADJUSTMENT

4-25-23

SUBMITTAL

4-25-23

CITY REVIEW

4-25-23

CITY COMMENTS

8-25-23

CITY APPROVAL

9-15-23

PUD APPROVAL

10-15-23

REVIEW

11-15-23

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ALLIANT

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PULTE
HOMES

KINSLERY
EXISTING TREE INVENTORY
PRELIMINARY TREE PLAT & PUD SUBMITTAL
17325 PIONEER TRAIL
EDEN PRAIRIE, MINNESOTA

I hereby certify that this plan
is a true copy of the original plan
as filed with the City of Eden Prairie
and is being submitted in accordance
with the requirements of the City of Eden
Prairie's Zoning Ordinance.

DRAFT

REVISION

DRAWING

COMMENTS

REVISION

REPLACEMENT CALCULATIONS

Existing Tree Inventory	Number of Trees	Number of Trees	Number of Trees	Number of Trees
15101 10	1			
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REQUIREMENTS

REQUIRED LANDSCAPE: TOTAL SQUARE FOOTAGE / .320 = TOTAL REQUIRED CALIPER INCHES
 91,126.50 SQ FT / .320 = 285.485" INCHES
REQUERED MITIGATION: 542"
REQUIRED: 63.5" MUST BE REPLACED WITH 4" CALIPER TREES
 (SEE TREE PRESERVATION PLAN FOR CALC'S)
 TOTAL INCHES: REQUIRED: 827.
 PROPOSED LANDSCAPE: INCHES: 424".
 TREES: 344" / 177" = 1.96" MAX.
 SHRUBS: 125" / 177" = 0.70" SPADIFOLIA: 66.87" / 117"

LEGEND



- PROPOSED
EXISTING TREE TO BE SAVED
CONIFEROUS TREE

SECOND AREA SEED MIX
(SEE SEEING NOTES)

SURF SEED MIX
(SEE SEEING NOTES)

MARSH PLUG PLANTING - FOX
(Pinus strobus) OR PRAIRIE CORDIGE
(Pinus pinaster).

LANDSCAPE SCHEDULE

LANDSCAPE NOTES

1. CALL GARNER STATE PLATE AT 851-44-0023 FOR LOCATING ALL UNDERGROUND UTILIES AND TO AVOID DAMAGE TO UTILITIES DURING THE COURSE OF THE WORK.

2. INSTALL 2" MIN. TOP SOIL TO ALL BMP'S AND 6" TOPSOIL TO ALL SOD AND SHRUB AREAS. FINE GRADE ALL SOD AREAS.

3. STAKE OR MARK ALL PLANT LOCATIONS PRIOR TO INSTALLATION. HAVE OWNERS REPRESENTATIVE APPROVE ALL STAKING PRIOR TO INSTALLATION.

4. ALL SHRUB AREAS UNLESS SPECIFIED AS STATED ON THE PLAN, TO BE RED MAULED WITH 5' DIA. OF HARDWOOD MULCH, NATURAL OR FILTER FABRIC, POLY-EFFER TO BE VALLEY YEN BLACK, DRAGGED OR APPROVED.

5. ALL MULCH AND ROCK (BOULDERS, COBBLESTONE, ETC) TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

6. INSTALL 4"-6" DEPTH SHREDDED HARDWOOD MULCH AROUND ROOT SAUCER OF ALL TREES ISOLATED FROM PLANT BEDS.

7. PLANTING SOIL SHALL BE 11:1 CONSISTING OF 33% LOAMY TOPSOIL, 33% PEAT MOSS, 33% PIT RUN SAND. SEE PLANTING NOTES FOR SOD AND FILTER BASKIN AREAS.

8. COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF TWO YEARS BEGINNING AT THE DATE OF ACCEPTANCE. MAKE ALL REPAIRMENTS PROMPTLY (AS PER DIRECTION OF OWNER).

9. ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN.

10. ALL TREE TRUNKS SHALL BE WRAPPED WITH BROWN CREEPE TREE WRAP, APPLY WRAP IN NOVEMBER AND REMOVE IN APRIL.

11. MAINTAIN ALL PLANT MATERIALS, INCLUDING WATERING, UNTIL THE TIME OF ACCEPTANCE.

14. ECONOMICIAN LANDSCAPE INSULATION WITH MANTEN PLUMBING FOR DURATION OF WARRANTY PERIOD.
15. STAKING AND GUARDING OF TREES OPTIONAL; MANTEN PLUMBING OF TREES FOR DURATION OF WARRANTY PERIOD.
16. SWEEP AND WASH ALL PAVED SURFACES AND REMOVE ALL DEBRIS RESULTING FROM LANDSCAPE OPERATIONS DAILY.
17. ALL BOULEVARDS TO BE SODDED UNLESS OTHERWISE SHOWN ON PLANS.

SEEING NOTES

20 of 22

This detailed site plan illustrates the layout of a residential development in Preston Place. The plan shows 42 numbered lots arranged in two main blocks.
Block 1 (top) includes lots 1 through 42, with specific areas labeled:

- SEED MIX
- SW
- CH
- SSD
- AE
- RO
- POND AREA

 A central feature is a large rectangular area labeled "FREEPLE".
Block 2 (bottom) includes lots 1 through 14, with specific areas labeled:

- SEED MIX
- SW
- CH
- SSD
- AE
- RO
- POND AREA

 A central feature is a large rectangular area labeled "FREEPLE".
The plan also shows several roads:

- COUNTY ROAD NO. 11 (vertical road on the left)
- PIONEER TRAIL (diagonal road sloping down from top-left)
- VALLEY ROAD (horizontal road at the top)
- 650 BULEVARD (horizontal road on the right)
- LARMAR RAIL (vertical road connecting the two main blocks)
- OUTLITA (a narrow road connecting two sections of the plan)

 Other labels include:

- PRIVACY FENCE (6' HT VNC) OWNED, MAINTAINED BY TOWNHOME HOA (PAGE 19)
- SE MOUNTAIN SIGN ENLARGEMENT
- SHADING INDICATES EXISTING & PROPOSED
- 2001 WNW 898-3 E1200 WNW 898-3 100 WNW 898-3 100 WNW 898-3 SKOWVILLE 895-03 APR 1994
- SCALE IN FEET

A north arrow is located in the bottom right corner.

